

Corona Retail (proposed)



Property Description:

Proposed 4,995 SF (gross) / 4,415 SF (rentable) shop building located at the NEC of Corona and Ouray. This development is adjacent to Wal-Mart, Home Depot and Staples at Coors and I-40 and is a proposed retail/office development. Ideal for restaurant users, retail/service users, or professional office medical users. Attractive visibility to Coors Boulevard and tenant improvements allowances are available.

Traffic Counts:

Interstate 40: 130,600
Coors Boulevard: 59,700
Ouray Road: 8,700

Availabilities:

4,415, 3,328, 1,637, 1,087

Demographics June 2009

	1 Mile	3 Miles	5 Miles
Population:	14,609	89,284	198,293
Households	5,385	35,313	73,908
Avg. HHI	\$56,951	\$59,305	\$56,502



For more information,
please contact:

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Corona Retail
NEC Corona Drive & Ouray Road
Albuquerque, NM 87120

NOVEMBER, 2007

[illegible]

FOR

1308 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NGA-ABC-INTERIORS.COM

SET NO.:

PROJECT: A0623

PROJECT DESCRIPTION

THE WESTSIDE RETAIL PROJECT IS 4,990 SF TOTAL AND WILL ACCOMMODATE A MAXIMUM OF THREE SEPARATE TENANTS. THE BUILDING HAS A 8-OCCUPANCY AND IT IS VB CONSTRUCTION. THE OVERALL STRUCTURE IS MAINLY 2X8 WOOD FRAMING WITH STEEL FRAMING SUPPORT (COLUMNS AND MAIN STRUCTURAL BEAMS). THE BUILDING IS NOT SPRINKLED. A SEPARATE PORTION OF THE BUILDING HOUSES MECHANICAL AND ELECTRICAL ROOMS AS WELL AS AN ATM ROOM.

INDEX TO DRAWINGS

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**STRUCTURAL
STRUCTURAL DESIGN ASSOCIATES**

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THE GROUP

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ARCHITECTS - PLANNERS - JIA
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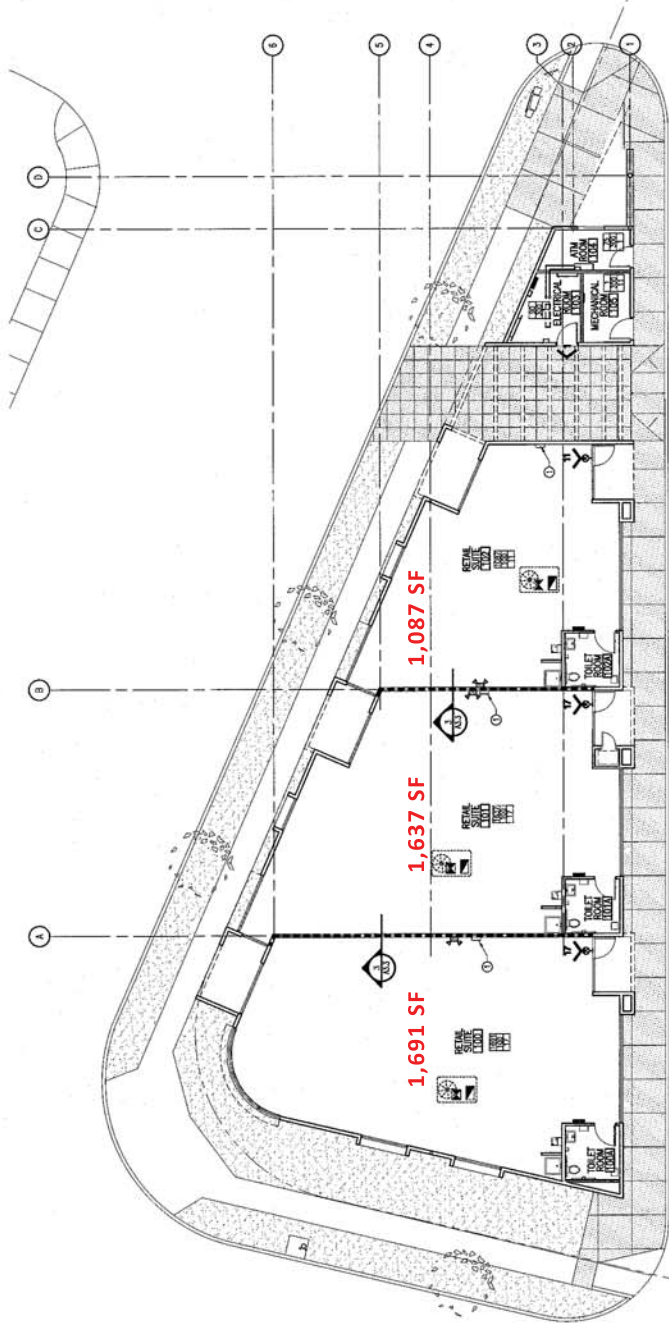
CONSULTANT
7601

PROJECT TITLE
NEW MEXICO

WESTSIDE RETAIL SPACE
CODE ANALYSIS FLOOR PLAN

NO.	DATE	DESCRIPTION
1	11/01/2007	ISSUED FOR PERMIT
2	11/01/2007	REVISED
3	11/01/2007	REVISED
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6	11/01/2007	REVISED
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100	11/01/2007	REVISED

- GENERAL NOTES**
- A. ALL WOOD FLOORING TO BE FIRE TREATED.
- WALL LEGEND**
- 1. WALL MOUNTED FIRE EXTINGUISHER CABINET.
- KEYED NOTES**
- 1. WALL MOUNTED FIRE EXTINGUISHER CABINET.



SCALE: 1/8"=1'-0"

CODE PLAN

SECTION	DESCRIPTION	REMARKS
1	GENERAL NOTES	SEE GENERAL NOTES ON SHEET 101
2	WALLS	SEE WALL LEGEND ON SHEET 101
3	FLOORS	SEE FLOOR LEGEND ON SHEET 101
4	CEILING	SEE CEILING LEGEND ON SHEET 101
5	MECHANICAL	SEE MECHANICAL LEGEND ON SHEET 101
6	ELECTRICAL	SEE ELECTRICAL LEGEND ON SHEET 101
7	PLUMBING	SEE PLUMBING LEGEND ON SHEET 101
8	HAZARDOUS MATERIALS	SEE HAZARDOUS MATERIALS LEGEND ON SHEET 101
9	ENVIRONMENTAL	SEE ENVIRONMENTAL LEGEND ON SHEET 101
10	ACCESSIBILITY	SEE ACCESSIBILITY LEGEND ON SHEET 101
11	SAFETY	SEE SAFETY LEGEND ON SHEET 101
12	OTHER	SEE OTHER LEGEND ON SHEET 101

CODE ANALYSIS

ONE HOUR PARTITION - DESIGN UL465

SCALE: 1/8"=1'-0"



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ARCHITECT
ROBERT M. NORTON
NORTHWEST
NEW MEXICO
CONSULTANT
11-6-07

PROJECT TITLE
WESTSIDE RETAIL SPACE
FLOOR PLAN
ALBUQUERQUE
SHEET NO
A1-1

GENERAL NOTES

1. SEE SCHEDULE FOR FINISHES.
2. 1" = 1/2" SCALE.
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KEYED NOTES

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FLOOR PLAN

SCALE: 1/8" = 1'-0"

TOILET ACCESSORIES SCHEDULE

MARK	DESCRIPTION	QUANTITY	UNIT
1	WATER RECEPTACLE	1	EA
2	48" SINK UNIT	1	EA
3	TOILET TUBING CUPBOARD	1	EA
4	18" X 30" MIRROR	1	EA
5	TOILET SINK EXHUSTER	1	EA
6	CLOTHES HOOK	1	EA
7	TOILET EXHUSTER	1	EA
8	48" SINK UNIT	1	EA

TOILET RM. PLAN

ELEVATION

ELEVATION

TOILET RM. PLAN

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