



# SMARTCODE APPLICATION EL PASO, TEXAS

## ALDEA EL PASO DEVELOPMENT REGULATING PLAN

PREPARED FOR GELTMORE LLC  
13 JULY 2012

MOULE & POLYZOIDES  
ARCHITECTS AND URBANISTS



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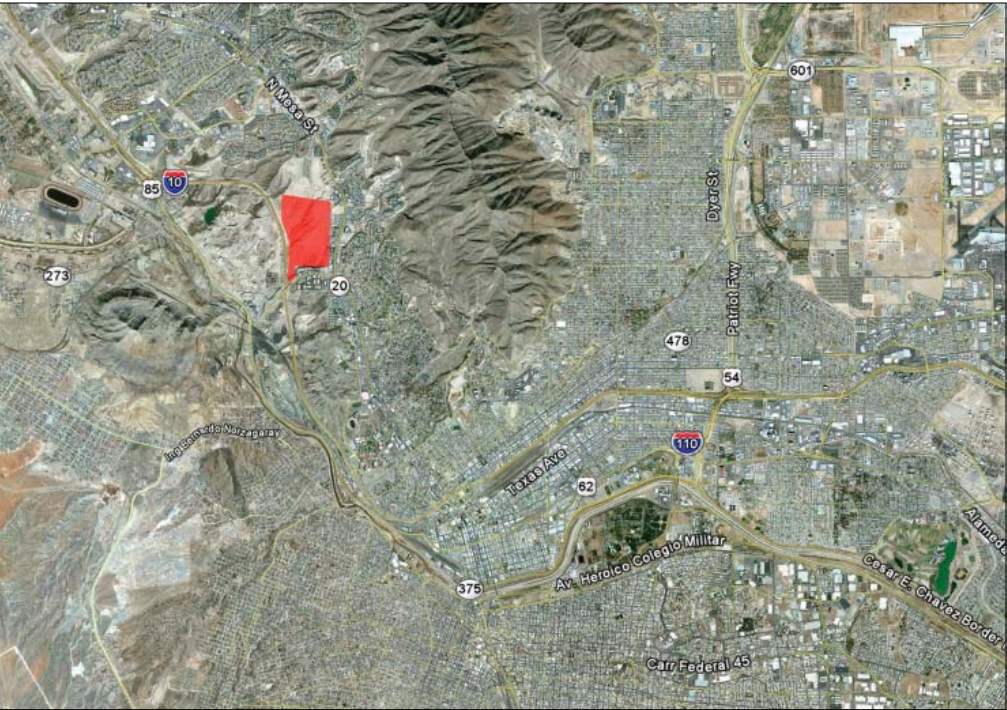
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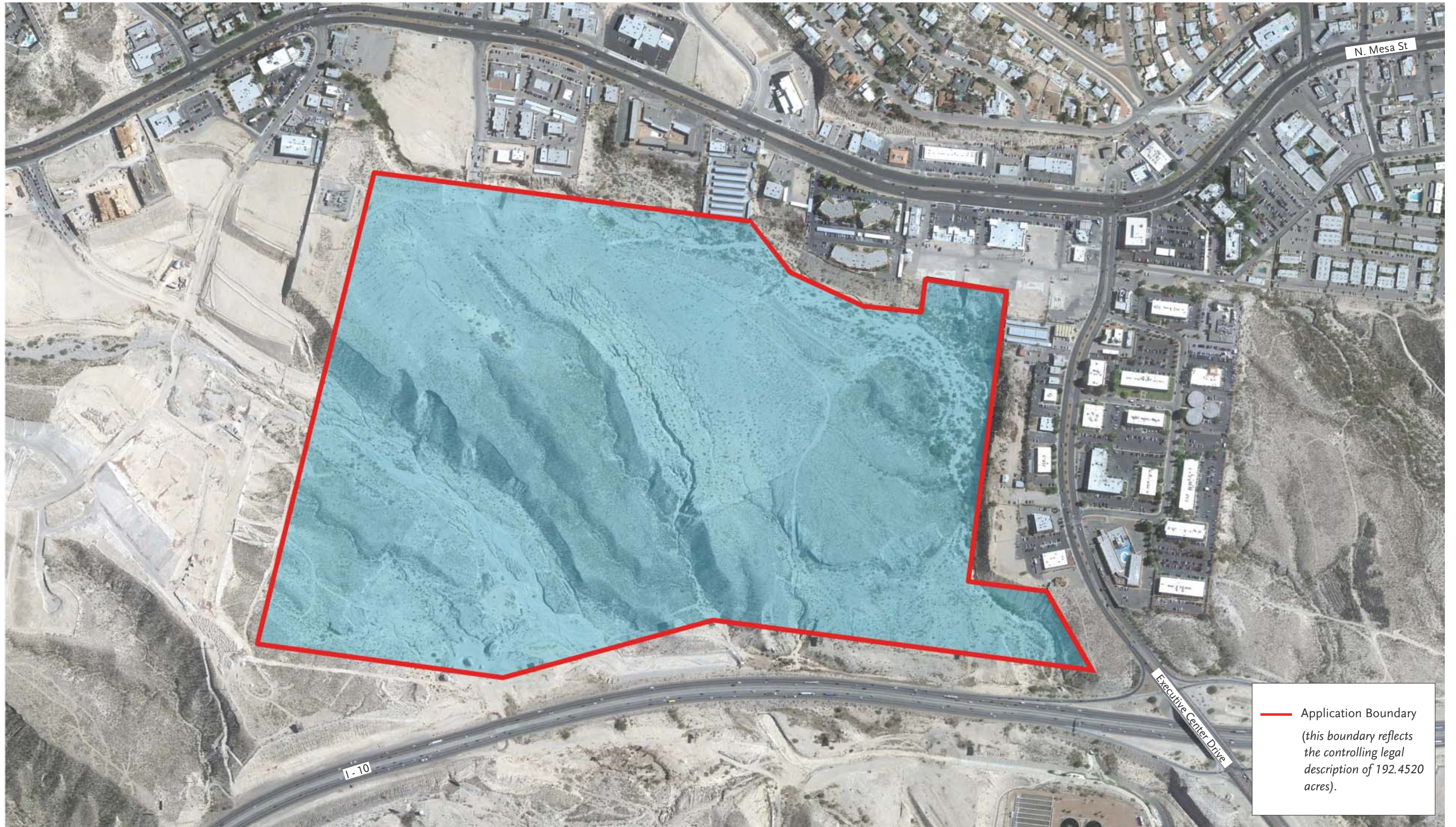


Site Location

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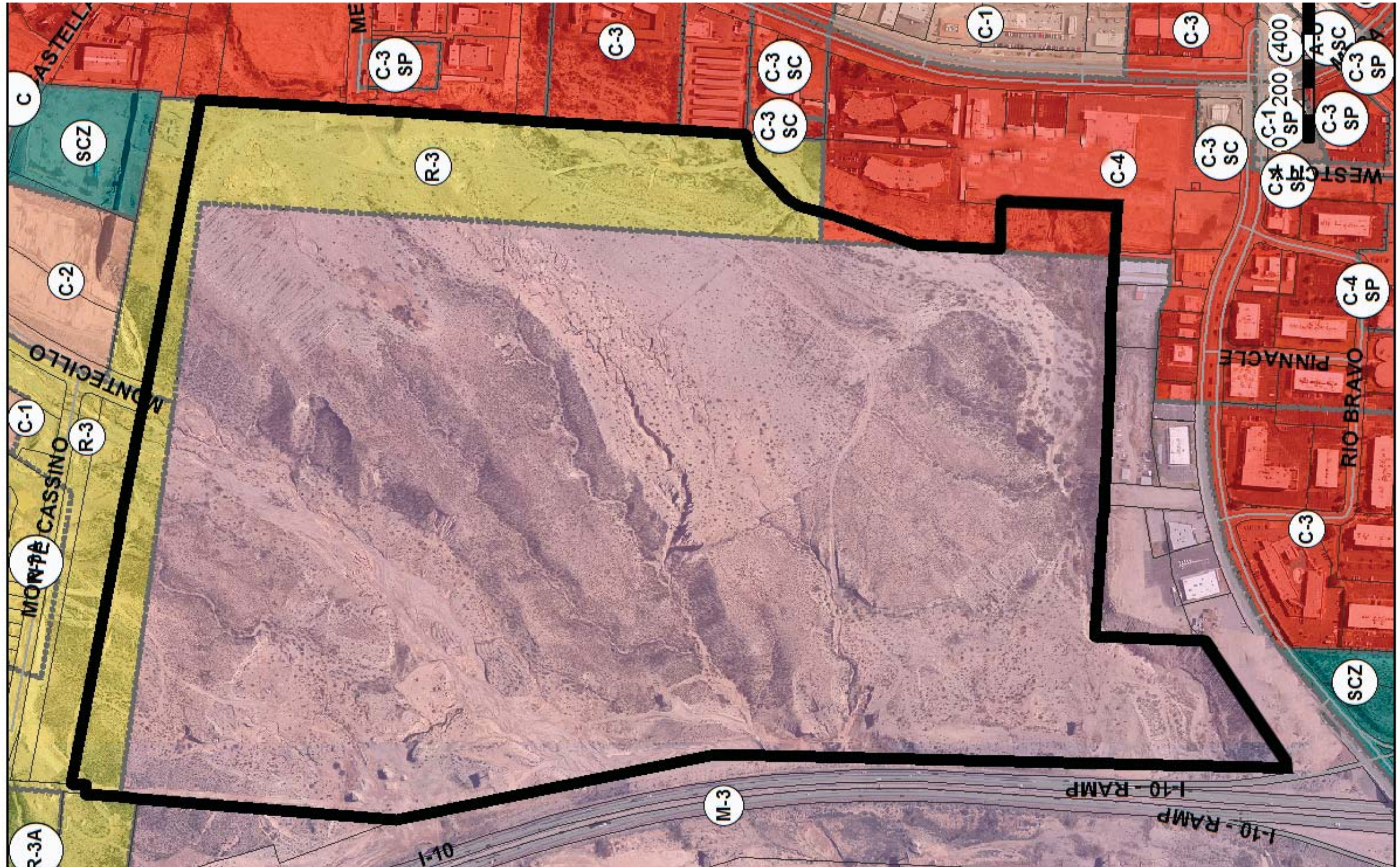






Description	Legal	Acreage
Aldea Parcel	A parcel of land being a portion of Tract 20A, John Barker Survey No. 10, El Paso City, El Paso County, Texas.	192.4520
	<b>Total Acreage</b>	<b>192.4520</b>

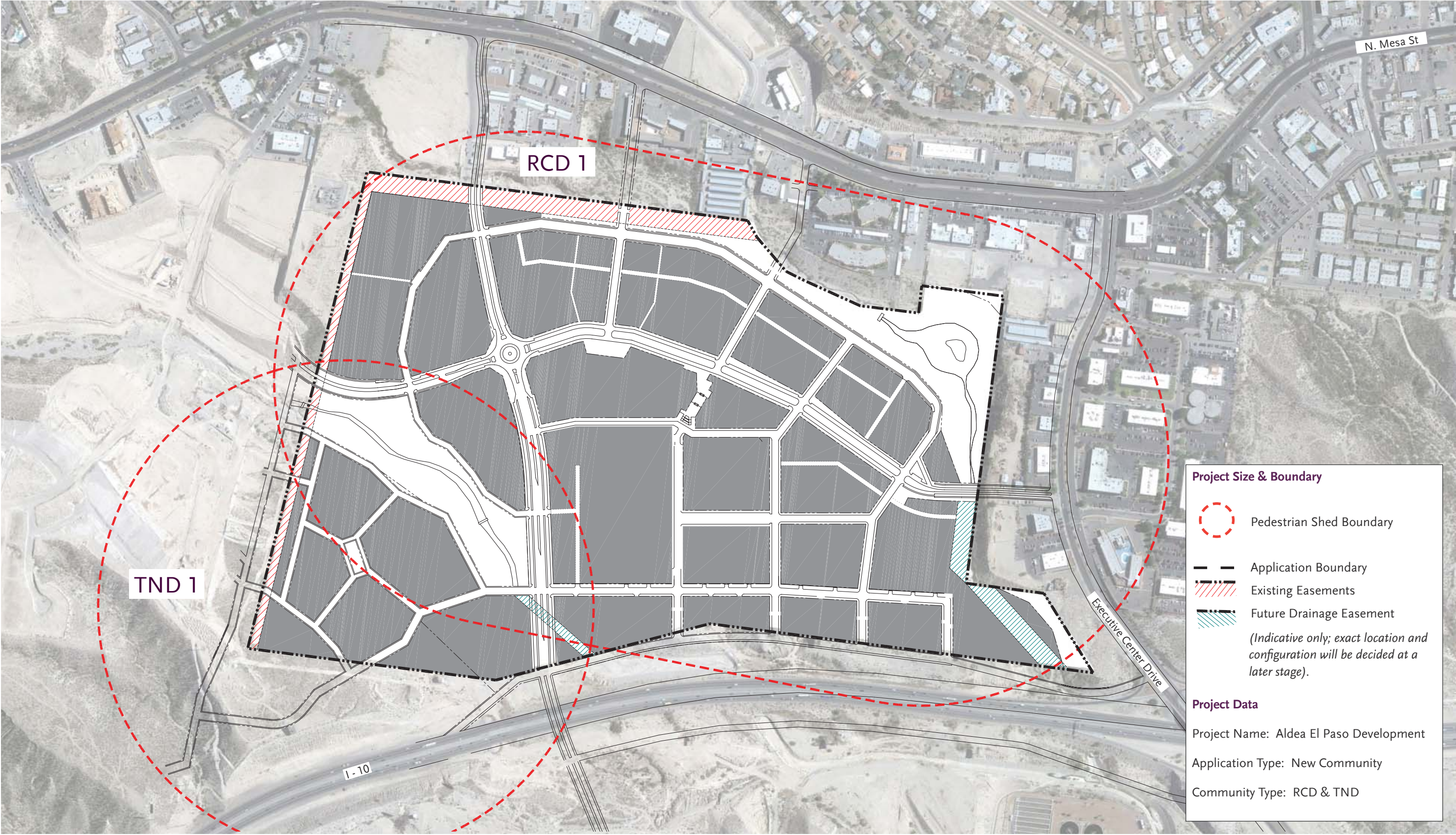




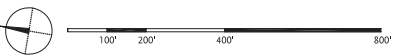
## EXISTING ZONING

( NOT TO SCALE )

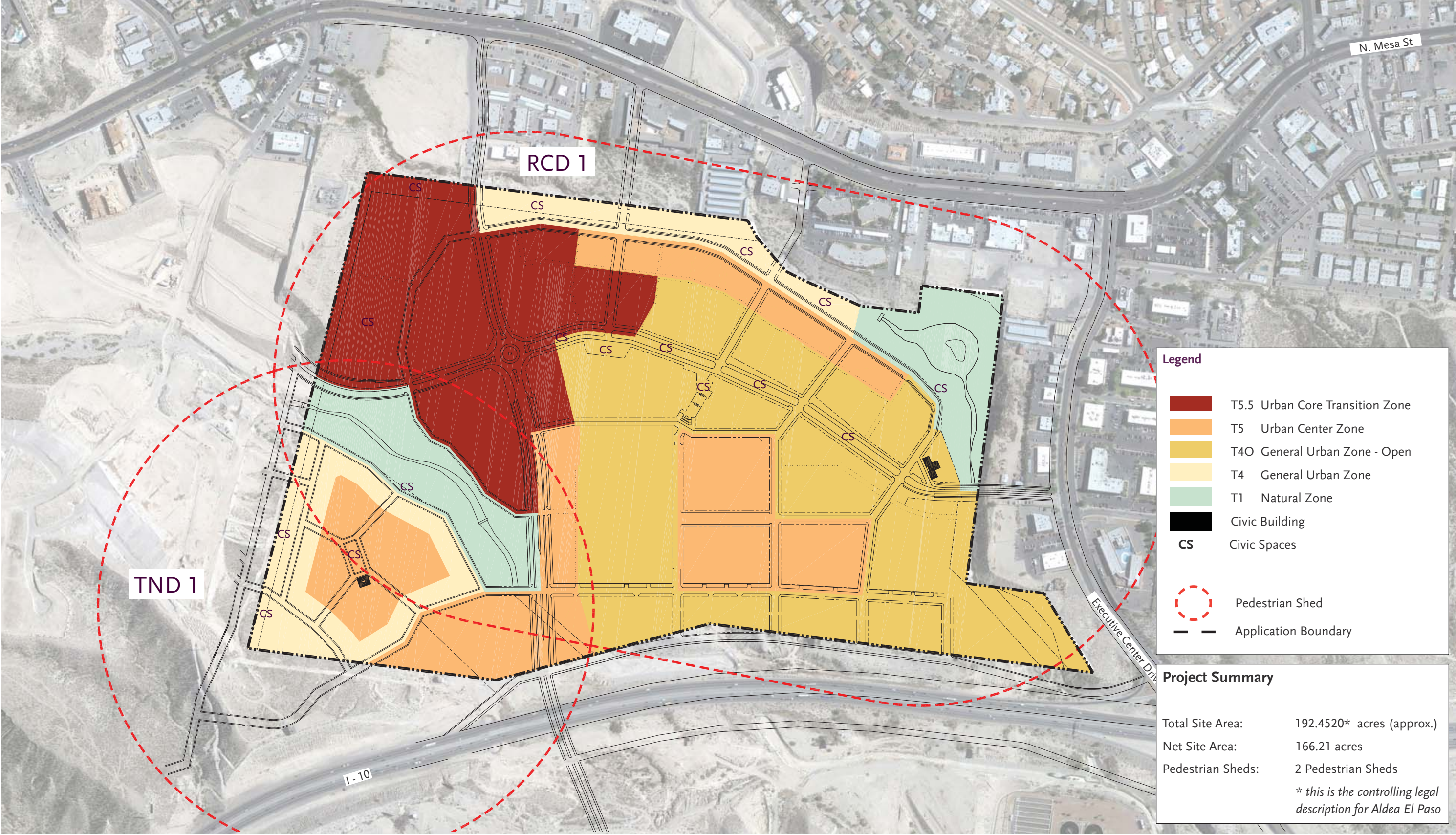




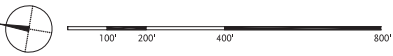
# PROJECT BOUNDARY & DEVELOPABLE AREA



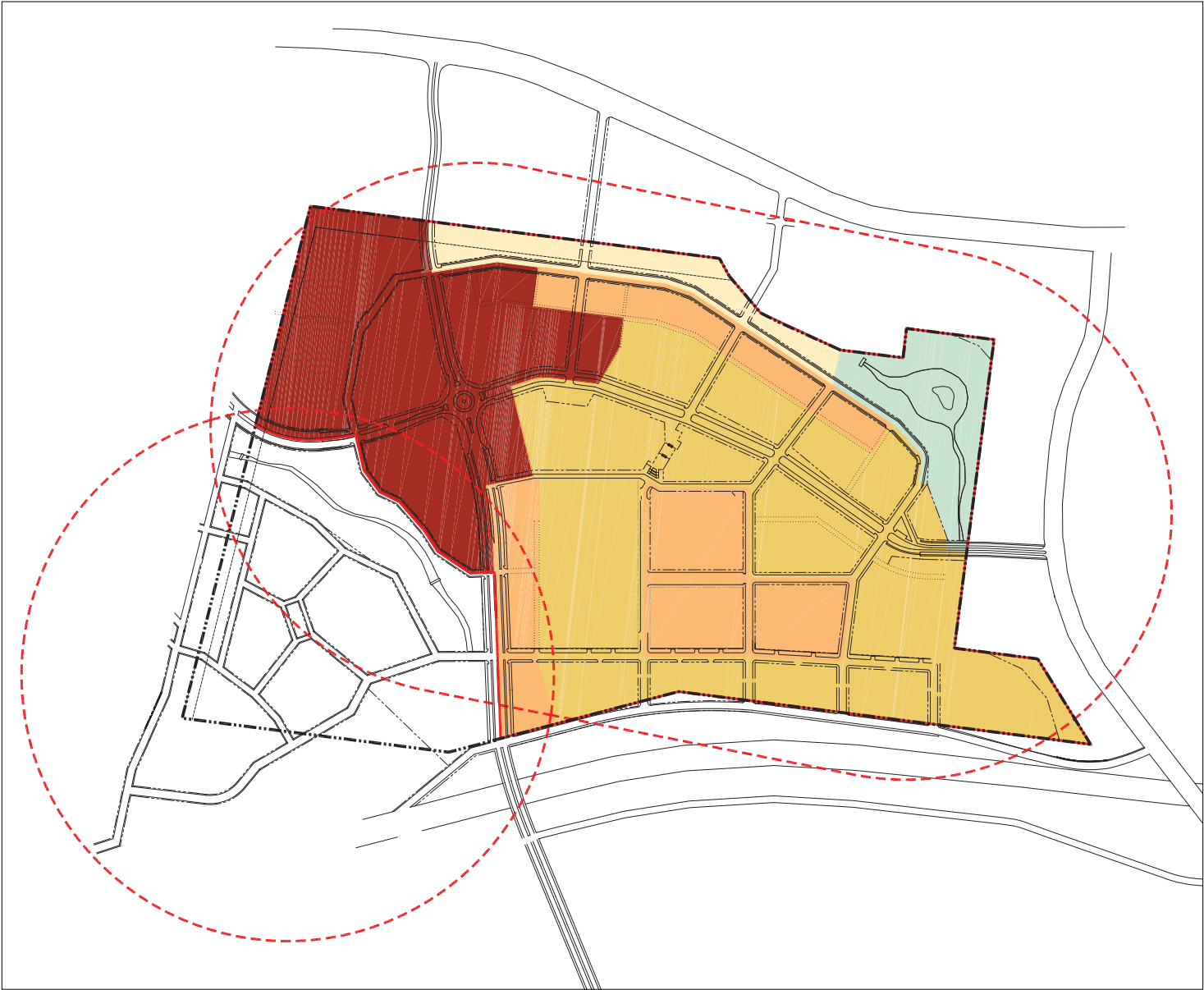




# TRANSECT ZONE ALLOCATION







RCD 1 - Transect Zones



RCD 1 - Civic Spaces

Transect Zone		Area (acres)	RCD Mid City % Area Required	% Area Proposed
<span style="display:inline-block; width:10px; height:10px; background-color:darkred;"></span> T5.5		39.30	25-75% max	25.9%
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span> T5		28.90	10-30% max	19.0%
<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span> T40		65.80	45% max	43.3%
<span style="display:inline-block; width:10px; height:10px; background-color:lightyellow;"></span> T4		8.00	5-25% max	5.3%
<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen;"></span> T1		9.80	no minimum	6.5%
<b>Total Area</b>		<b>151.80</b>		

	Civic Space Acreage		Total	% Total Site Area
RCD 1	23.32		23.32	16.3%





TND 1 - Transect Zones

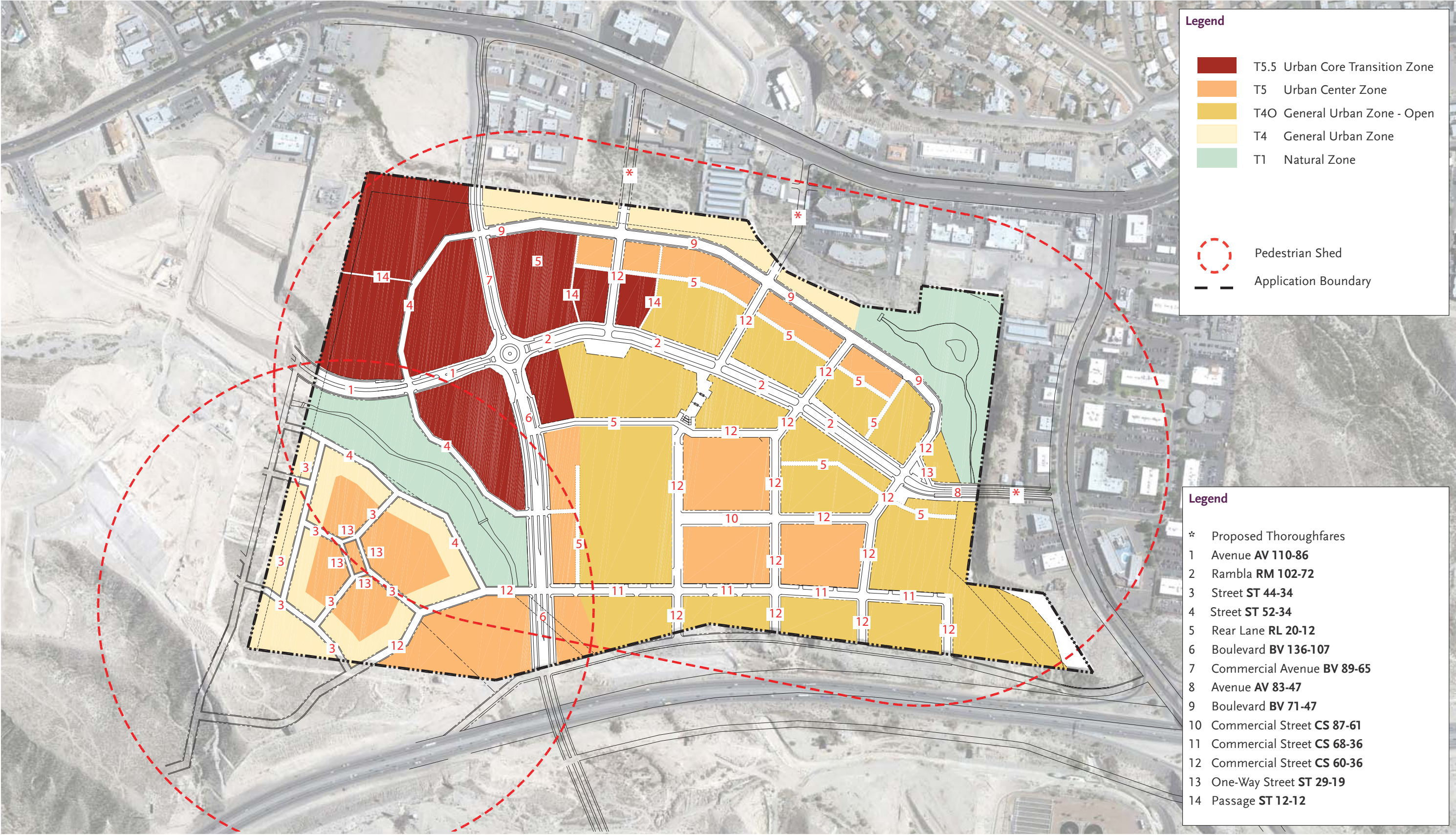


TND 1 - Civic Spaces

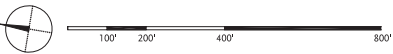
Transect Zone	Area (acres)	TND Mid City % Area Required	% Area Proposed
T5.5	0.00	30% max	0.0%
T5	29.70	20-40% max	40.0%
T40	2.20	20% max	3.0%
T4	18.80	20-50% max	25.3%
T1	23.50	no minimum	31.7%
<b>Total Area</b>	<b>74.20</b>		

	Civic Space Acreage	Total	% Total Site Area
TND 1	12.45	12.45	23.4%





# THOROUGHFARE ASSIGNMENT

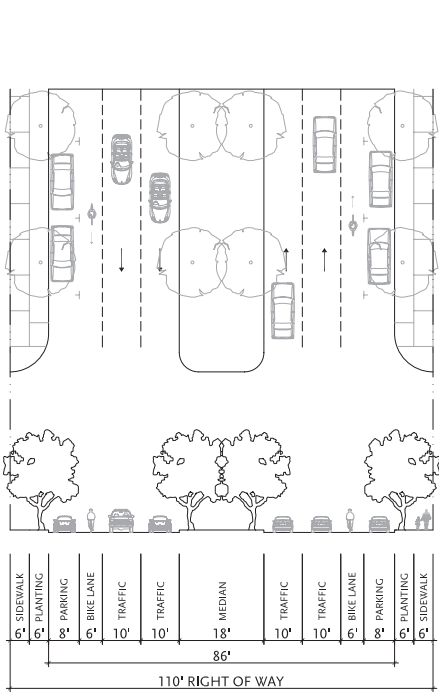




Notes:

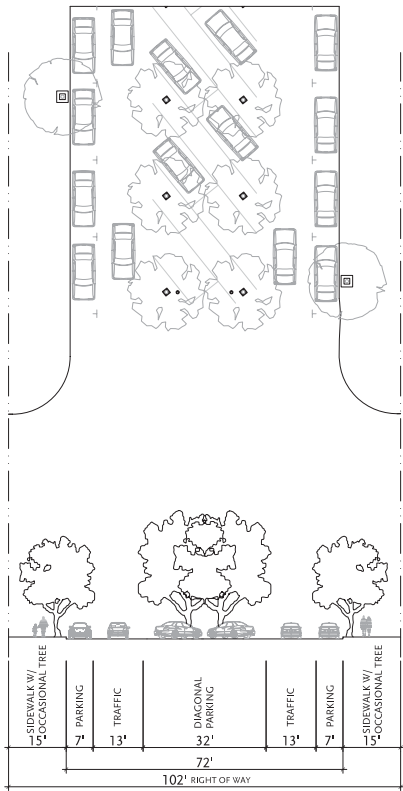
1. Pavement width includes gutter where present, and is measured from outside fsce of curb to outside face of curb.

2. For thoroughfares with multiple transect zones, public frontage types will be specific to the respective transect zone



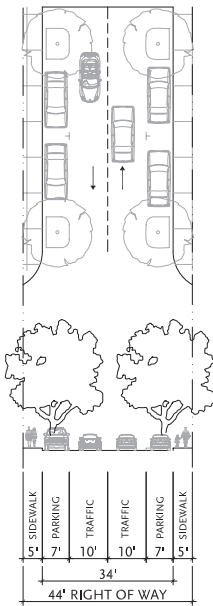
1. AV 110-86

	T4	T5.5
Thoroughfare Type	Avenue	
Transect Zone Assignment	T4, T5.5	
Right-of-Way	110	
Pavement Width	86	
Movement	Free	
Design Speed	35	
Pedestrian Crossing Time	28	
Traffic Lanes	4	
Parking Lanes	2	
Curb Radius	15	
* Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Porch and Fence, Common Entry	
Walkway Type	6' conc.	
Planter Type	Verge	
Curb Type	6" VC&G	
Landscape Type	Trees	
Transportation Provision	N/A	



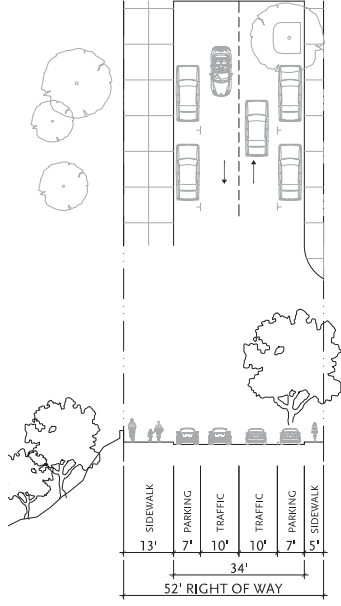
2. RM 102-72

	T4O
Thoroughfare Type	Rambla
Transect Zone Assignment	T4O
Right-of-Way	102
Pavement Width	72
Movement	Free
Design Speed	25
Pedestrian Crossing Time	20
Traffic Lanes	2
Parking Lanes	2 Par. + 2 Diag.
Curb Radius	15
* Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Common Entry
Walkway Type	Conc.
Planter Type	Box
Curb Type	6" VC&G
Landscape Type	Trees
Transportation Provision	N/A



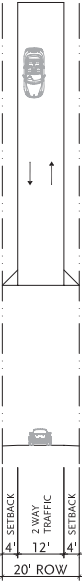
3. ST 44-34

	T5	T4
Thoroughfare Type	Street	
Transect Zone Assignment	T5, T4	
Right-of-Way	44	
Pavement Width	34	
Movement	Slow	
Design Speed	25	
Pedestrian Crossing Time	9.7	
Traffic Lanes	2	
Parking Lanes	2	
Curb Radius	15	
* Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Porch and Fence, Common Entry	
Walkway Type	Conc.	
Planter Type	Box in P. Lane	
Curb Type	6" VC&G	
Landscape Type	Trees	
Transportation Provision	N/A	



4. ST 52-34

	T5.5	T4
Thoroughfare Type	Street	
Transect Zone Assignment	T4, T5.5	
Right-of-Way	52	
Pavement Width	34	
Movement	Slow	
Design Speed	25	
Pedestrian Crossing Time	9.7	
Traffic Lanes	2	
Parking Lanes	2	
Curb Radius	15	
* Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Porch and Fence, Common Entry	
Walkway Type	Conc.	
Planter Type	Box in P. Lane	
Curb Type	6" VC&G	
Landscape Type	Trees	
Transportation Provision	N/A	

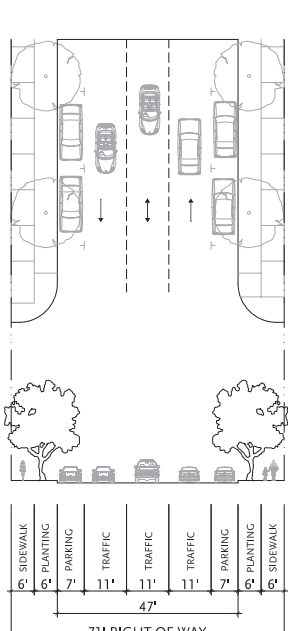
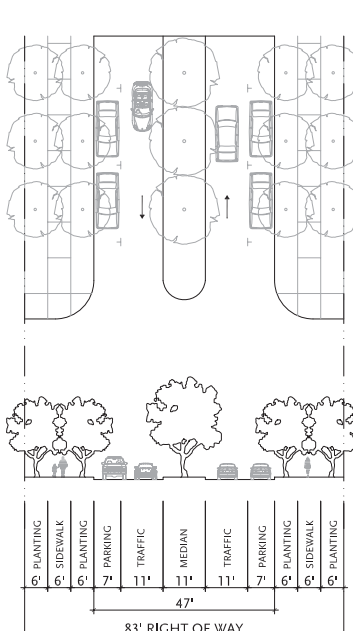
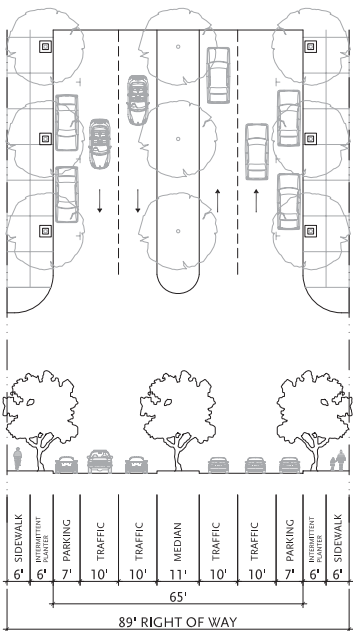
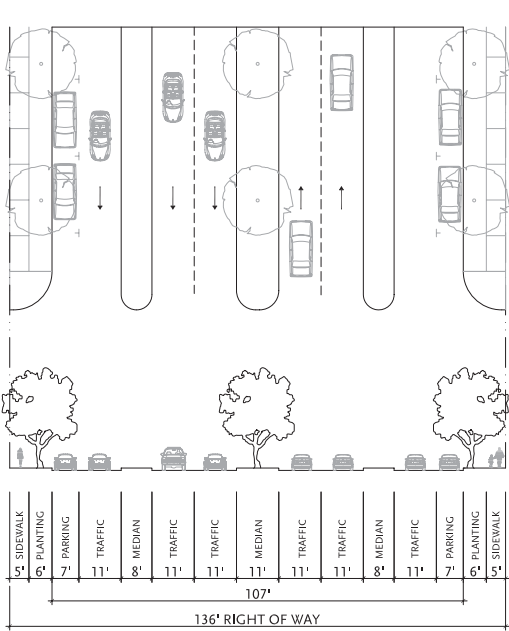


5. RL 20-12

	T4	T4O	T5.5	T5
Thoroughfare Type	Rear Lane			
Transect Zone Assignment	T4, T4O, T5, T5.5			
Right-of-Way	20			
Pavement Width	12			
Movement	Yield			
Design Speed	11			
Pedestrian Crossing Time	4			
Traffic Lanes	1			
Parking Lanes	0			
Curb Radius	5			
* Public Frontage Type	None			
Walkway Type	None			
Planter Type	None			
Curb Type	None			
Landscape Type	None			
Transportation Provision	N/A			



- Notes:
1. Pavement width includes gutter where present, and is measured from outside fsce of curb to outside face of curb.
2. For thoroughfares with multiple transect zones, public frontage types will be specific to the respective transect zone



6. BV 136-107

7. BV 89-65

8. AV 83-47

9. BV 71-47

Thoroughfare Type	T4O
Transect Zone Assignment	T5
Right-of-Way	T5.5
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
★ Public Frontage Type	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	

Thoroughfare Type	Boulevard
Transect Zone Assignment	T4O, T5, T5.5
Right-of-Way	136
Pavement Width	107
Movement	Free
Design Speed	35
Pedestrian Crossing Time	35
Traffic Lanes	6
Parking Lanes	2
Curb Radius	15
★ Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Porch and Fence, Common Entry
Walkway Type	Conc.
Planter Type	Verge
Curb Type	6" VC&G
Landscape Type	Trees
Transportation Provision	N/A

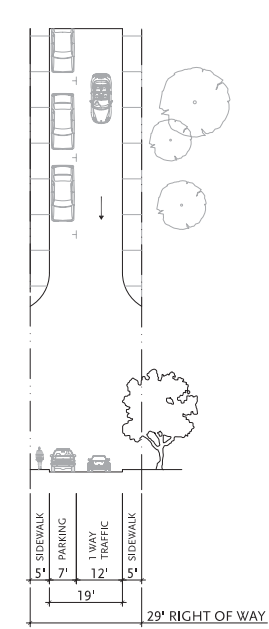
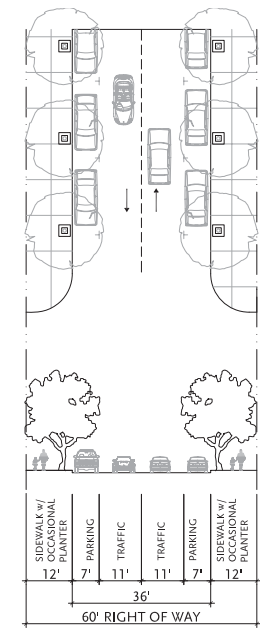
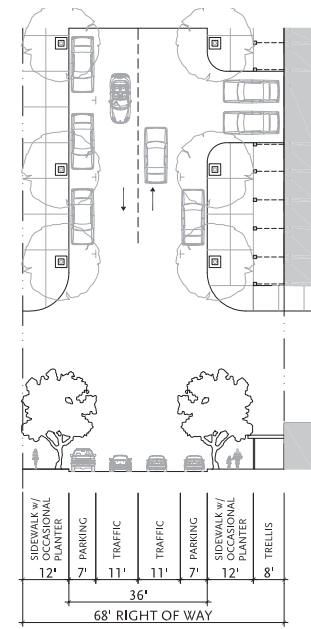
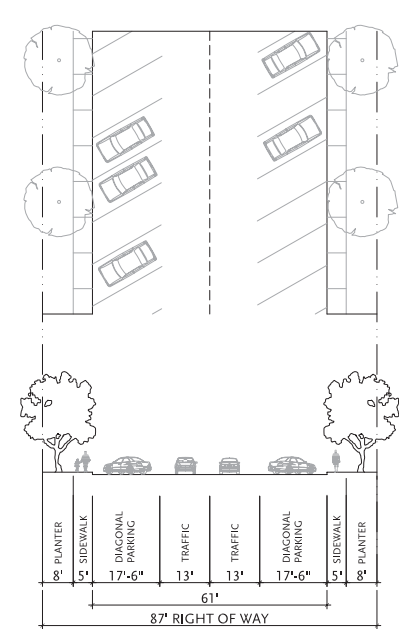
Thoroughfare Type	Commercial Avenue
Transect Zone Assignment	T5.5
Right-of-Way	T4
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
★ Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Porch and Fence, Common Entry
Walkway Type	Conc.
Planter Type	Grates
Curb Type	6" VC&G
Landscape Type	Trees
Transportation Provision	N/A

Thoroughfare Type	Avenue
Transect Zone Assignment	T4O
Right-of-Way	83
Pavement Width	47
Movement	Free
Design Speed	25
Pedestrian Crossing Time	9.1
Traffic Lanes	2
Parking Lanes	2
Curb Radius	15
★ Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Common Entry
Walkway Type	Conc.
Planter Type	dbl. In walk
Curb Type	6" VC&G
Landscape Type	dbl. Tree 2 sides + median
Transportation Provision	N/A

Thoroughfare Type	Boulevard
Transect Zone Assignment	T4, T4O, T5.5
Right-of-Way	71
Pavement Width	47
Movement	Slow
Design Speed	25
Pedestrian Crossing Time	15
Traffic Lanes	3
Parking Lanes	2
Curb Radius	15
★ Public Frontage Type	Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Porch and Fence, Common Entry
Walkway Type	Conc.
Planter Type	In walk
Curb Type	6" VC&G
Landscape Type	Trees
Transportation Provision	N/A



- Notes:
- 1. Pavement width includes gutter where present, and is measured from outside fsce of curb to outside face of curb.
  - 2. For thoroughfares with multiple transect zones, public frontage types will be specific to the respective transect zone



Thoroughfare Type
Transect Zone Assignment
Right-of-Way
Pavement Width
Movement
Design Speed
Pedestrian Crossing Time
Traffic Lanes
Parking Lanes
Curb Radius
★ Public Frontage Type
Walkway Type
Planter Type
Curb Type
Landscape Type
Transportation Provision

10. CS 87-61
T4O
Commercial Street
T4O
87
61
Slow
25
19
2
2 diagonal
15
Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Common Entry
Conc.
Verge
6" VC&G
Trees
N/A

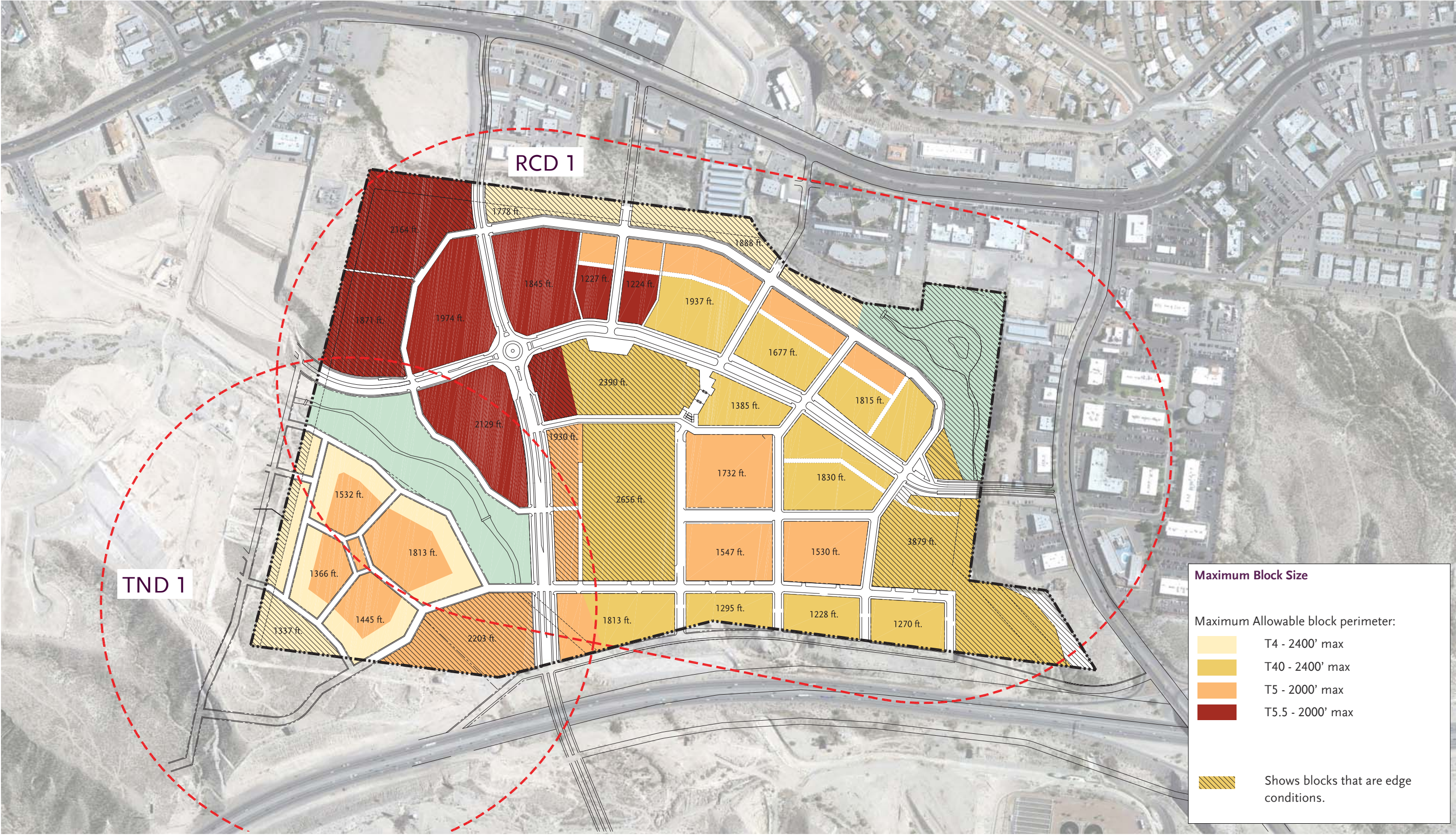
11. CS 68-36
T4O T5
Commercial Street
T4O, T5
68
36
Slow
25
12
2
2
15
Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Common Entry
Conc.
In walk
6" VC&G
Trees
N/A

12. CS 60-36
T4 T4O T5
Commercial Street
T4, T4O, T5
60
36
Slow
25
12
2
2
15
Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Common Entry
Conc.
In walk
6" VC&G
Trees
N/A

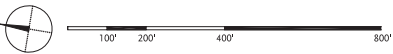
13. ST 29-19
T4O T5
One-Way
T4O
29
19
Slow
22
3.1
1
1
15
Terrace/ Lightwell, Forecourt, Stoop, Shopfront, Gallery, Arcade, Common Entry
Conc.
N/A
6" VC&G
N/A
N/A

14. ST 12-12
T4 T4O T5.5 T5
Passage
T4, T4O, T5, T5.5
12
0
Pedestrian Passage
None
N/A
0
0
5
None
N/A
N/A
None
N/A
N/A

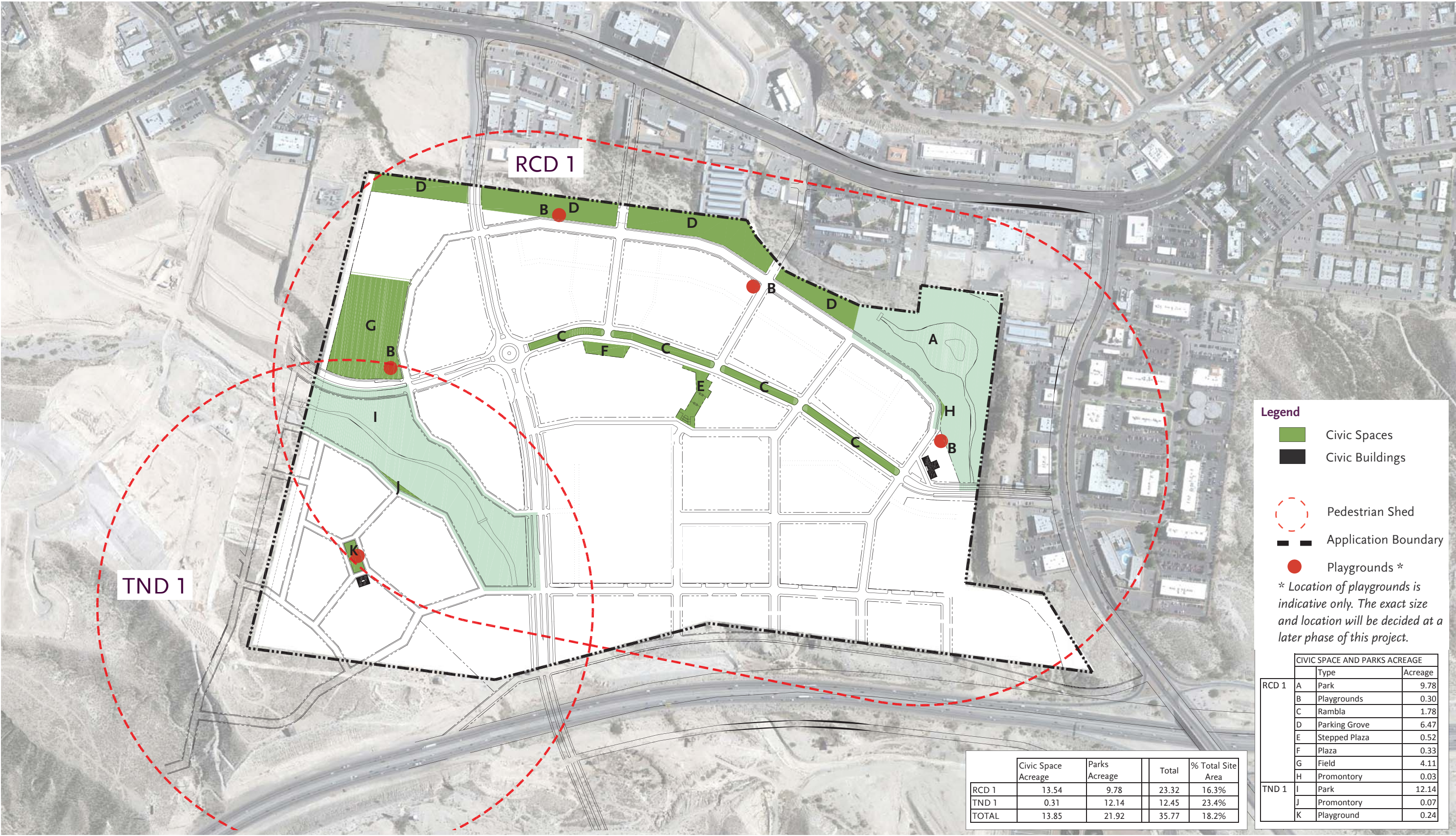




# MAXIMUM BLOCK SIZE



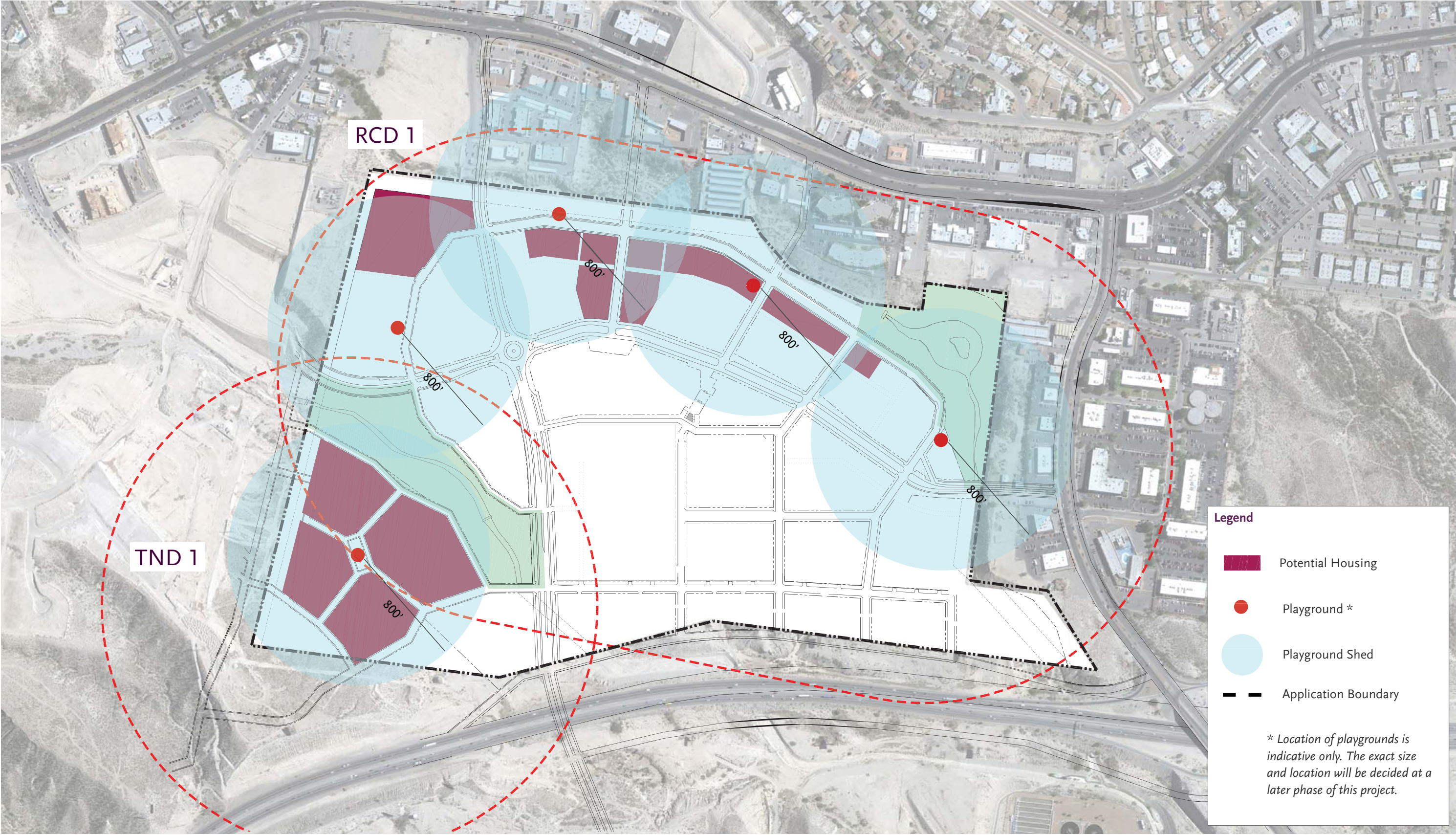




# CIVIC SPACE AND BUILDINGS

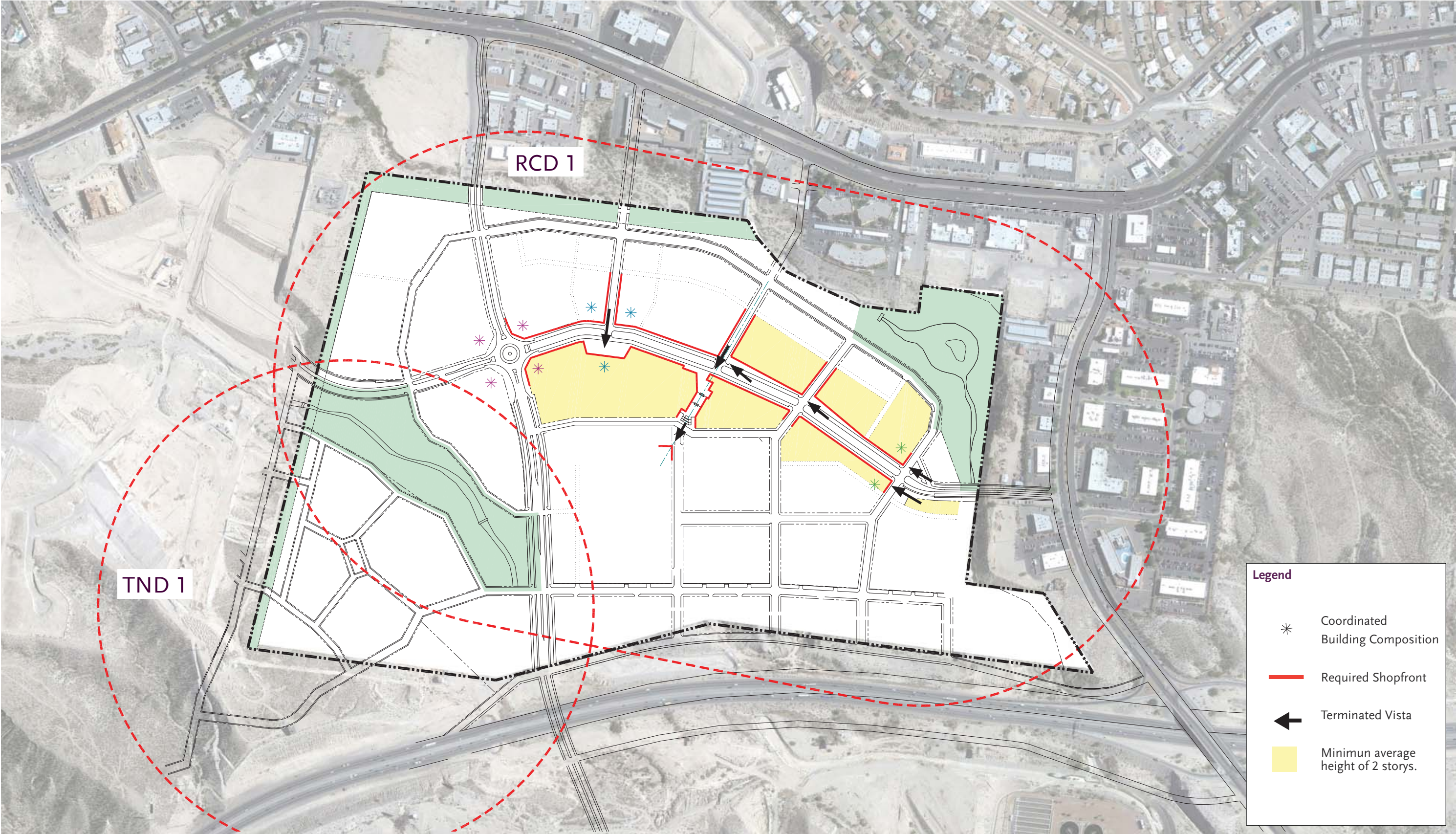






# PLAYGROUNDS

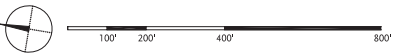




**Legend**

- \* Coordinated Building Composition
- Required Shopfront
- ← Terminated Vista
- Minimum average height of 2 stories.

SPECIAL REQUIREMENTS





I. WARRANTS:

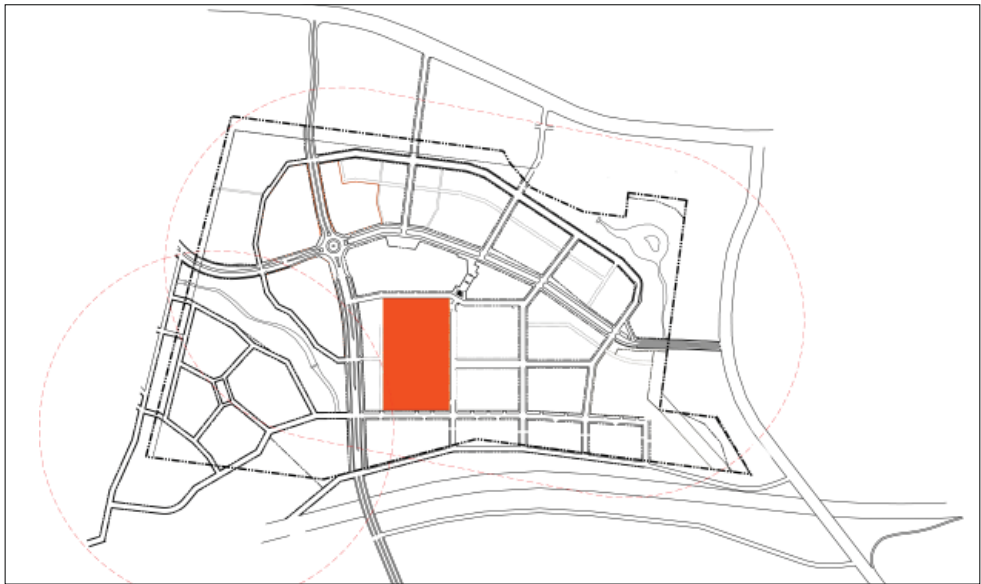
1. BLOCK PERIMETER INCREASE:

This plan is requesting a perimeter increase for the block shown in the diagram below.

Block A is in the T40 Transect Zone. Per the current Smart Code, the maximum block perimeter in T40 is 2400 feet. The block shown below has a perimeter of 2656 feet.

Most blocks within the plan are surrounded by thoroughfares on at least three sides, and are held to Transect Zone specific block perimeter maximums to ensure walkability while allowing seamless traffic distribution throughout the site. However, due to the extreme topographical conditions of the site, there are some cases when streets do not intersect with other streets, and end in edge streets or terminate into edge blocks that have a frontage on only one or two sides. Such edge blocks should be exempted from the required perimeter maximums since they do not form part of the street grid.

The block requesting the warrant, is one such block.



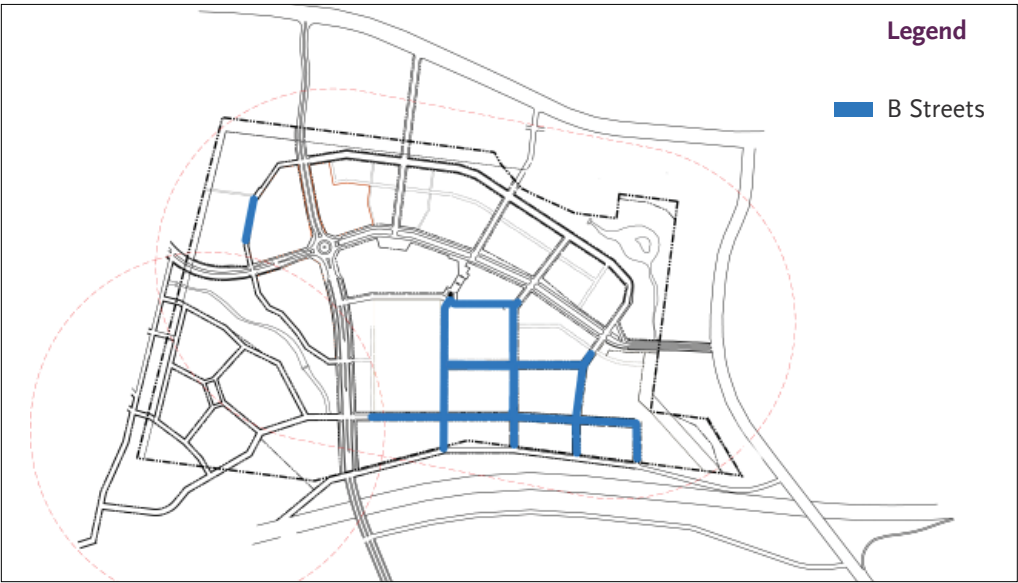
Warrant 1

2. INCREASED PERCENTAGE OF B STREETS:

This plan is requesting an increase in the total length of B Streets within the RCD, from 20% to 34%. This is in response to the unique location of the site next to the freeway.

The following diagram shows the location of B streets in the plan. These streets have less stringent frontage conditions, as outlined in the Smart Code.

Per the Smart Code, the total length of B Streets in a Pedestrian Shed, cannot exceed 20% of the total length of major thoroughfares in that shed. In RCD 1, the total length of all major thoroughfares is 20,710 linear feet. The total length of 'B Streets' is 6,932 linear feet (33.5%).



B Streets

3. 21.50.120 SIGNAGE STANDARDS:

A. GENERAL TO ZONES TX, T3, T4, T4-O, T5, T6 AND Special Districts SD3, SD4, SD6.

This plan is requesting the permissible use of off-premises CEVM wall signage. Such wall signage will not exceed 672 square feet and shall be permitted only on buildings located on parcels of land that front Interstate Highway 10. Such wall signage shall be permitted only upon the demolition and permanent removal of a least one existing billboard structure of the same size.



III. EXCEPTIONS:

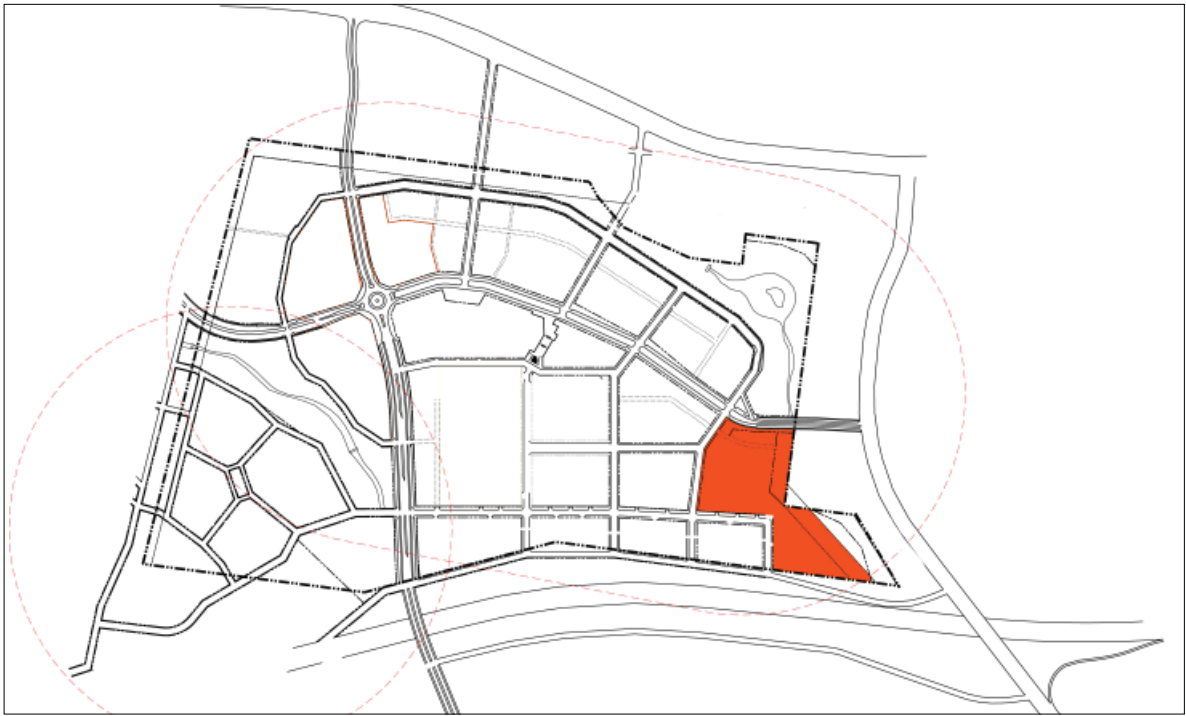
1. BLOCK PERIMETER EXCEPTION:

This plan is requesting a block perimeter exception for the edge block shown in the diagram below.

Most blocks within the plan are surrounded by thoroughfares on at least three sides, and are held to Transect Zone specific block perimeter maximums to ensure walkability while allowing seamless traffic distribution throughout the site. However, due to the extreme topographical conditions of the site, there are some cases when streets do not intersect with other streets, and end in edge streets or terminate into edge blocks that have a frontage on only one or two sides. Such edge blocks should be exempted from the required perimeter maximums since they do not form part of the street grid.

The block shown below is one such block. It backs in to an adjacent property, and is separated from the adjacent property by a severe topographical drop. Adding a walk or path to break the block length, does not make any positive linkage.

This edge block is in the T40 Transect Zone. Per the current Smart Code, the maximum block perimeter in T40 is 2400 feet. The edge block shown below has a perimeter of 3879 feet.



Block Perimeter Exception



